

COMMISSION
ASHLEY HEAD, CHAIR
ANDREW NEWTON, VICE CHAIR
VIVIAN LYONS
JULIE CEPIN
KELLY VINES

City of Villa Rica



INT. CITY MGR: JENNIFER HALLMAN
CITY CLERK: THERESA CAMPBELL
CITY ATTORNEY: NICOLE SMITH

571 W BANKHEAD HWY
VILLA RICA, GA. 30180
770.459.7000 | VILLARICA.ORG

PLANNING AND ZONING MEETING AGENDA

Holt-Bishop Justice Center, Municipal Courtroom, 101 Main Street
January 20, 2026 | 6:00 PM

Meeting Call to Order (Chairwoman)

Adoption of the Agenda (Chairwoman)

A. Appointment of Board Officers

B. Old Business

1. Approval of minutes from 12/16/2026

C. New Business

1. Rezoning request submitted by CHI/Acquisition, L.P. The request is to rezone the subject property from Commercial Medium-Density (C2) to Industrial Low-Density (I1). The property is located at 700 Edge Road, within Land Lots 143 and 146 of District 4, also known as Parcel Number 01460250013, and is located within Douglas County, GA, Ward 5. The total property size is approximately 29.79 ± acres. **This is a Public Hearing.**

City of Villa Rica



PLANNING AND ZONING COMMISSION MEETING MINUTES

Holt-Bishop Justice Center, Municipal Courtroom, 101 Main St

Tuesday, December 16, 2025 | 6:00pm

Meeting Called to Order Chairwoman Ashley Head called the meeting to order.

Present: Chairwoman Ashley Head, Commissioner Vivian Lyons, Commissioner Julie Cepin and Commissioner Kelly Vines

Adoption of the Agenda

RESULT:	ADOPTED 4/0
MOVER:	Commissioner Kelly Vines
SECONDER:	Commissioner Julie Cepin
AYES:	Chairwoman Ashley Head, Commissioner Vivian Lyons, Commissioner Julie Cepin and Commissioner Kelly Vines

A. Old Business

1. Approval of minutes from 08/19/2025

RESULT:	APPROVED 4/0
MOVER:	Commissioner Julie Cepin
SECONDER:	Commissioner Vivian Lyons
AYES:	Chairwoman Ashley Head, Commissioner Vivian Lyons, Commissioner Julie Cepin and Commissioner Kelly Vines

B. New Business

1. 2026 Planning and Zoning Commission Meeting Calendar

Staff amended the Calendar to show the July City Council meeting on 7/14/26 opposed to 7/13/26.

Commissioner Kelly Vines moved to adopt the amended calendar.

RESULT:	APPROVED 4/0
MOVER:	Commissioner Kelly Vines
SECONDER:	Commissioner Julie Cepin
AYES:	Chairwoman Ashley Head, Commissioner Vivian Lyons, Commissioner Julie Cepin and Commissioner Kelly Vines

Adjournment- Commissioner Vivian Lyons moved to adjourn

RESULT:	APPROVED 5/0
MOVER:	Commissioner Vivian Lyons
SECONDER:	Commissioner Julie Cepin
AYES:	Chairwoman Ashley Head, Commissioner Vivian Lyons, Commissioner Julie Cepin and Commissioner Kelly Vines

Planning & Zoning Chair

Community Development Director



Staff Report RA-03-2025

Applicant: CHI/Acquisition, L.P.

Case No.: RA-03-25

Address: 700 Edge Road

Land Lots: 0143, 0146

Parcel: 01460250013

Acreage: ±21.99 acres

Ward: 5

City Council Member: Dominique Conteh

Planning Board Member: Ashley Head

City of Villa Rica/Douglas County

The applicant, CHI/Acquisition, L.P., requests rezoning of PIN 01460250013 from C-2 (Commercial, Medium-Density) to I-1 (Industrial, Low-Density), to develop approximately 29.79 acres located at 700 Edge Road. The request is intended to allow development of a light industrial warehouse facility of 278,560 square feet with associated truck courts, trailer parking, employee parking, stormwater facilities, and perimeter landscaping. The development site compromises 2 parcels, with the second parcel (01430250013, ±7.8 acres) zoned I-2.

The following documents, which were submitted in support of the Application, have been reviewed:

1. Rezoning Application, submitted by CHI/Acquisition, L.P. dated December 1, 2025 (5 pages).
2. Commercial Water and Sewer Capacity Request / Utility Capacity Letter, City of Villa Rica, dated June 10, 2025 (4 pages).
3. Property Deed, Douglas County Superior Court records (12 pages).
4. Conceptual Site Plan, prepared by Ware Malcomb, dated December 1, 2025 (1 page).
5. Statement of Intent, prepared by Ware Malcomb on behalf of CHI/Acquisition L.P., dated December 1, 2025 (2 pages).
6. Sample Building Elevations, Sample Entry Rendering – View 1 and View 2.
7. Boundary Survey, prepared by TSS – Surveying Services, dated November 25, 2025 (1 page).
8. Legal Description, Land Lots 143 and 146, 2nd District, Douglas County, Georgia
9. Notice of Constitutional Challenge, December 1, 2025 (2 page).



A. Existing Conditions

The subject property is currently undeveloped and is located near the Interstate 20 corridor. Surrounding land uses include industrial, commercial, and transportation-oriented uses. Interstate 20 bounds the property to the north, reinforcing the area's function as a regional employment and logistics corridor.

Given the anticipated truck traffic and proximity to other trucking-oriented uses, staff has requested a Traffic Impact Study to evaluate roadway and intersection impacts and determine whether improvements are necessary.

The City has identified limited sewer capacity to serve the site currently, and the applicant proposes an interim septic system and an on-site fire protection tank until municipal service becomes available. The City issued a Letter of Availability dated October 24, 2025, conditionally approving water capacity for an average daily flow of 3,500 gallons per day. Due to current limitations in sewer capacity, the authorization allows the property to initially utilize an on-site septic system for wastewater treatment. The property owner is required to connect to the City's sewer system at their expense within eighteen (18) months of notification that capacity is available.

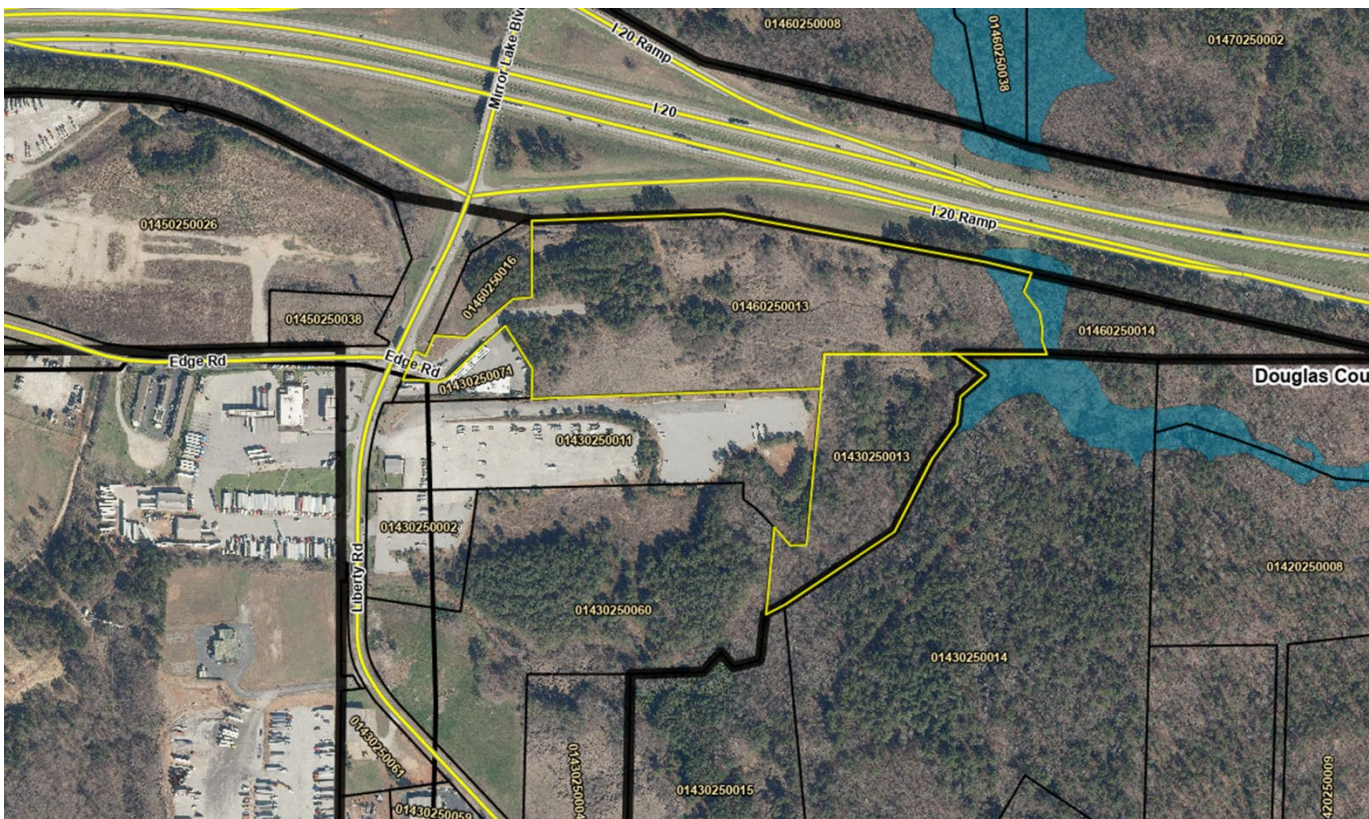


FIGURE 1. AERIAL MAP. 700 EDGE ROAD.



Surrounding Properties:

The subject property is located within a transportation and logistics oriented area at the Interstate 20 and Liberty Road interchange. To the north, the site is bound by Interstate 20. To the west, across Liberty Road, are large-scale industrial and logistics uses, including Peach State Truck Centers. To the south, surrounding users include Pilot Travel Center, CAT Scale, and J Kane Auctions, all of which support trucking, vehicle storage, and auto oriented industrial activity. To the east, the area remains largely undeveloped, consisting of wooded land and natural areas, with a small commercial outparcel at 700 Edge Road that includes a Fuel Service Station and Restaurant. Overall, the surrounding land uses are predominantly industrial and highway supportive in nature.

TABLE 1. SURROUNDING LAND USES

Current Zoning		Land Use
North	I-2 (Industrial Medium Density)	Industrial (across I-20)
East	C-2 (Commercial Medium Density)	Undeveloped / County Undeveloped
South	I-1 (Industrial Low Density)	Industrial
West	C-2 (Commercial Medium Density)	Commercial / Industrial

B. Proposed Development

The applicant proposes development of a ±278,560-square-foot light industrial warehouse facility with associated office space, designed to support logistics, distribution, and employment-generating uses consistent with the I-1 zoning district. The site layout accommodates internal truck circulation, trailer and employee parking, and on-site stormwater management. Access to the site is provided via Edge Road, near the signalized Liberty Road intersection.

Economic Impact

The proposed development represents an estimated \$35 million capital investment and is anticipated to generate approximately 175 to 250 permanent jobs, depending on the end user, in addition to approximately 125 construction-related jobs during the development phase. Wage levels for permanent positions will be determined by the final employer.

Traffic Impact Study

The applicant has contracted with a qualified traffic engineer to prepare a Traffic Impact Study for the proposed development. Due to the timing of data collection, the study was not available at the time of the initial publication of this staff report and will be reviewed by staff upon receipt.

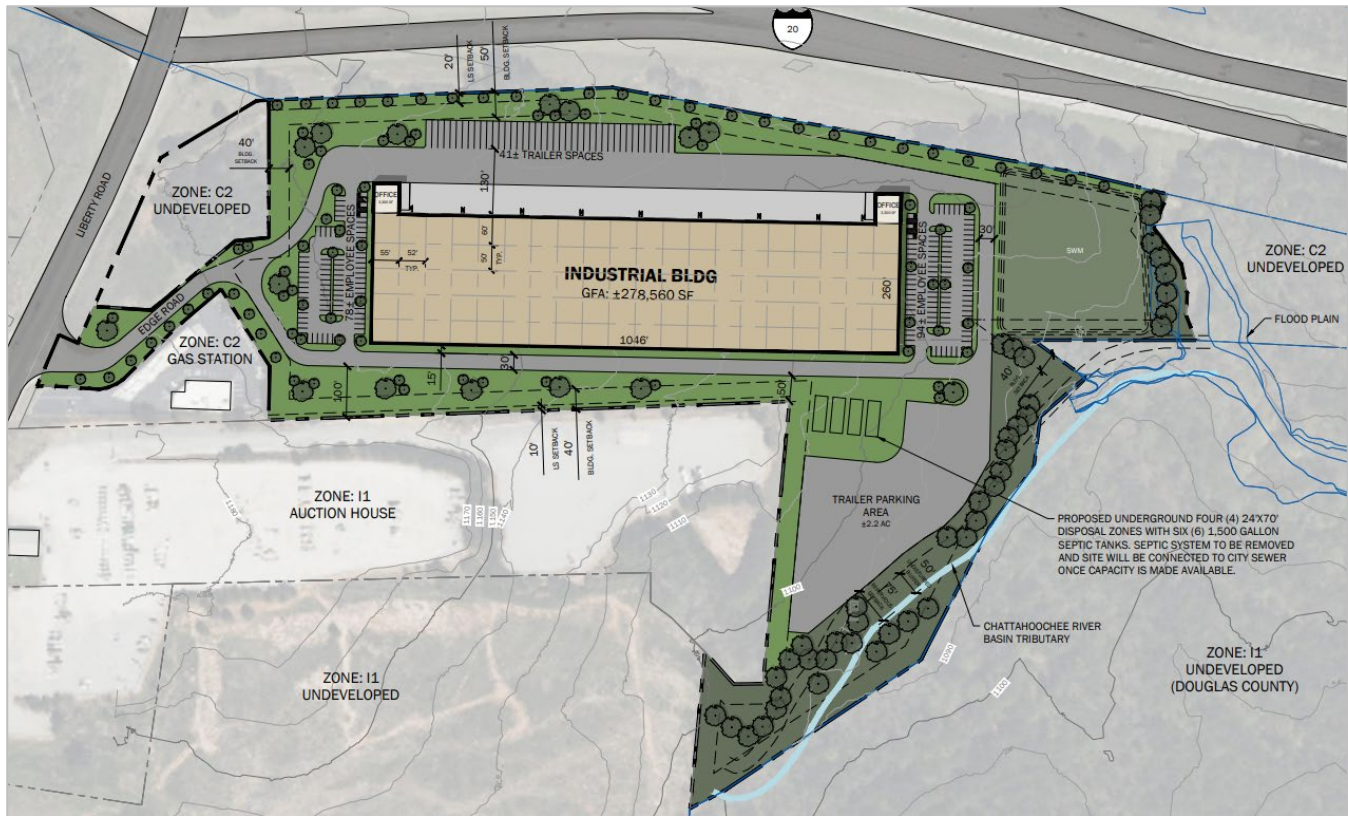


FIGURE 2. SITE PLAN. 700 EDGE ROAD.



FIGURE 3. RENDERING. SAMPLE ENTRY VIEW 1



FIGURE 4. RENDERING. SAMPLE ENTRY VIEW 2

C. Comprehensive Plan Consistency

The property lies within the *Liberty Village* Future Land Use village area and is designated as part of the *I-20 Gateway* land use designation in the City of Villa Rica Comprehensive Plan. The I-20 Gateway designation supports employment-generating uses that benefit from interstate access, higher intensity development, and efficient movement of goods and services. The proposed rezoning is consistent with these objectives.

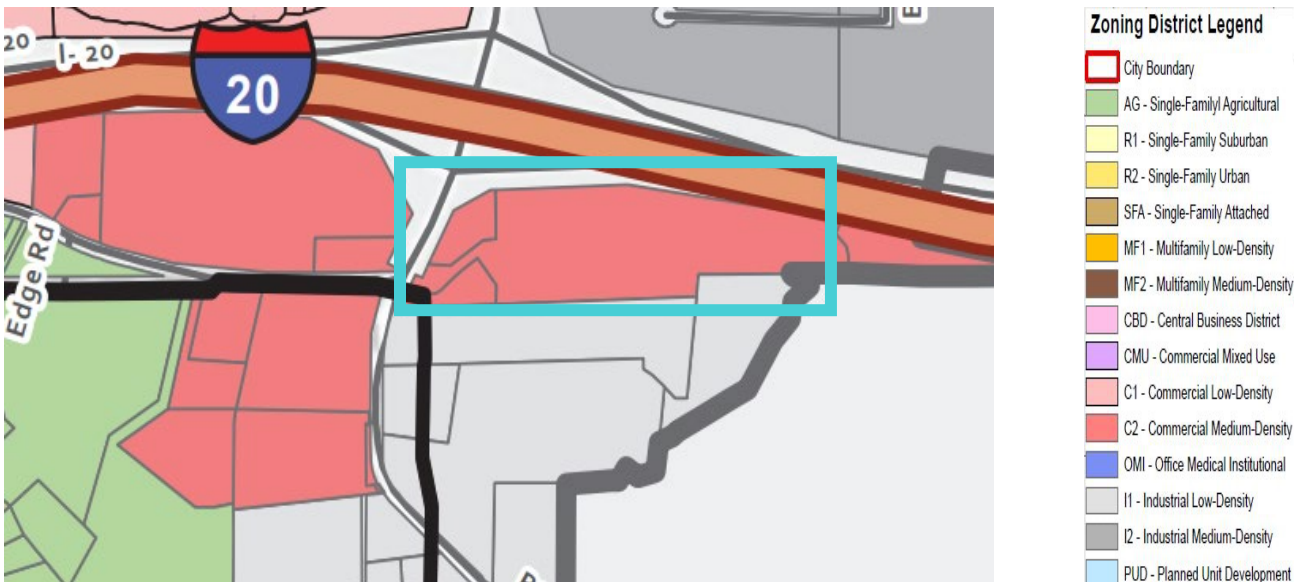


FIGURE 5. VILLA RICA ZONING MAP



City of Villa Rica Future Development Map

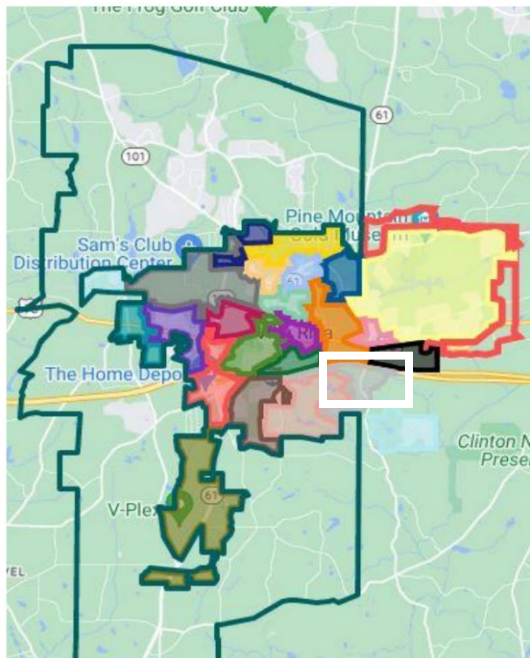


FIGURE 6. VILLA RICA FUTURE DEVELOPMENT MAP

Future Development Village Areas

- Village Areas
- Downtown
 - East Village
 - Mirror Lake Commercial Village
 - Mirror Lake Residential Village
 - East Industrial Village
 - Miner's Village
 - Medical Village
 - North Village
 - South Village
 - West Village
 - Fullerville Village
 - Urban Village
 - Gold Dust Village
 - West Industrial Village
 - Commercial Village
 - Rural Village
 - Bankhead Village
 - Neighborhood Residential Village
 - Neighborhood Residential Village
 - Liberty Village
 - Carroll Village

D. Rezoning Review Criteria

The Zoning Ordinance of the City of Villa Rica, Section 11.05(2)(b), requires the Planning & Zoning Commission and the legislative body to pay reasonable regard to the following when preparing and considering proposed amendments:

i. The Comprehensive Plan.

The subject property is located within the Liberty Village Future Land Use area and carries an I-20 Gateway land use designation in the City of Villa Rica Comprehensive Plan. The I-20 Gateway designation is intended to accommodate higher-intensity, employment-generating uses that benefit from direct interstate access and available transportation infrastructure. The Comprehensive Plan emphasizes economic development, job creation, and efficient land use along interstate corridors. The proposed rezoning from C-2 (Commercial, Medium-Density) to I-1 (Industrial, Low-Density) is consistent with these goals, as it facilitates development of a light industrial facility that leverages proximity to Interstate 20 while supporting the City's long-term employment and economic objectives.

ii. Current conditions and the character of current structures and uses in each district.

The subject property is currently undeveloped and is surrounded by industrial, trucking, auto-oriented, and highway-supportive uses, including a truck service center, and an auto auction facility. Interstate 20 directly borders the property to the north, and Liberty Road functions as a primary industrial access corridor. The existing character of



the area is defined by employment-focused, transportation-related development. Rezoning the property to I-1 aligns with the established development pattern and is compatible with surrounding land uses.

iii. The most desirable use for which the land in each district is adapted.

Due to its size, configuration, access to Interstate 20, and adjacency to existing industrial uses, the subject property is well adapted for light industrial and logistics-oriented development. While C-2 zoning permits a range of commercial uses, the site's location and surrounding context make it less suitable for traditional retail or pedestrian-oriented commercial development. Rezoning to I-1 allows the property to be utilized in a manner that maximizes its locational advantages and supports regional freight movement.

iv. The conservation of property values throughout the jurisdiction; and

The proposed rezoning is not expected to adversely impact surrounding property values. Industrial and trucking-related uses are already prevalent in the immediate vicinity, and the proposed development is consistent with existing land use patterns. By promoting industrial growth in an appropriate location, the rezoning supports long-term economic stability and investment in the Liberty Road corridor. Additionally, site design standards and buffering requirements will help ensure compatibility with adjacent properties.

v. Responsible development and growth.

The proposed rezoning supports responsible development and growth by directing the proposed logistics and distribution use to an area identified for such development in the Comprehensive Plan. The project leverages proximity to Interstate 20, minimizes land use conflicts, and contributes to the City's economic development goals through job creation. Infrastructure limitations, including sewer capacity, and potential transportation related issues, have been identified and are being addressed through coordination with the Utility Departments and staff's request for a traffic impact study. Overall, the request represents a logical extension of industrial development within an appropriate corridor.

E. Comments

F. Public Notification

As required by *Section 11.05* in the Code of the City of Villa Rica, the public has been notified in *Times-Georgian* and the *Douglas County Sentinel* on January 3, 2026. A sign has been posted on the subject properties; and the abutting property owners have been sent notification via mail.

Public Response:

In response to the public notifications, no residents have contacted the City objecting to the proposed rezoning.



G. Recommendations

Staff recommends Approval with conditions:

1. All building, fire life safety, and zoning requirements shall be met in accordance with all applicable City codes and regulations.
2. The subject property shall be developed in substantial conformance with the conceptual site plan dated December 1, 2025, as submitted with the application. Any deviation from the approved site layout shall require review and approval by the Community Development Department.
3. Prior to issuing any land disturbance permits, the applicant shall submit a Traffic Impact Study (TIS) prepared by a qualified traffic engineer. The study shall evaluate project related traffic impacts on Liberty Road, Edge Road, and nearby intersections, and shall identify any roadway or traffic control improvements necessitated by the development. Any required improvements shall be completed or guaranteed, as determined by the City Engineer.

Planning and Zoning Commission's Recommendation:



CITY OF VILLA RICA

City Council Meeting Agenda Item Cover Sheet

SUBJECT: Rezoning request submitted by CHI/Acquisition, L.P. The request is to rezone the subject property from Commercial Medium-Density (C2) to Industrial Low-Density (I1). The property is located at 700 Edge Road, within Land Lots 143 and 146 of District 4, also known as Parcel Number 01460250013, and is located within Douglas County, GA, Ward 5. The total property size is approximately 29.79 ± acres. **This is a Public Hearing.**

WORK SESSION DATE: February 3, 2026

MEETING DATE: February 10, 2026

PREPARED BY: Shaun Myers, Planning and Zoning Administrator

PUBLIC HEARING: YES

PURPOSE:

The applicant requests approval of a rezoning from C-2 (Commercial, Medium-Density) to I-1 (Industrial, Low-Density) to allow development of a ±278,560-square-foot light industrial warehouse facility with associated office space, truck courts, trailer parking, employee parking, stormwater management facilities, and required buffering.

BACKGROUND:

The subject property is currently undeveloped and is located near the Interstate 20 corridor at the Liberty Road interchange. Surrounding land uses are predominantly industrial, trucking, and highway-supportive in nature, including Peach State Truck Centers, Pilot Travel Center, CAT Scale, and J Kane Auctions. The property lies within the Liberty Village Future Land Use area and carries an I-20 Gateway designation in the City of Villa Rica Comprehensive Plan, which supports employment-generating uses with interstate access.

IMPACT:

The proposed development represents an estimated \$35 million capital investment and is anticipated to generate approximately 175 to 250 permanent jobs, in addition to approximately 125 construction-related jobs.

STAFF RECOMMENDATION:

Staff recommends approval of the requested rezoning as the site is designated I-20 Gateway in the Comprehensive Plan, is surrounded by compatible industrial and trucking uses, supports employment-generating development, and advances responsible growth along the Interstate 20 corridor.

Staff recommends **Approval** of the requested rezoning from C-2 (Commercial, Medium-Density) to I-1 (Industrial, Low-Density), with the following conditions:

1. All building, fire life safety, and zoning, and design requirements shall be met in accordance with all applicable City codes and regulations.
2. The subject property shall be developed in substantial conformance with the conceptual site plan dated December 1, 2025, as submitted with the application. Any deviation from the approved site layout shall require review and approval by the Community Development Department.
3. Prior to issuing any land disturbance permits, the applicant shall submit a Traffic Impact Study (TIS) prepared by a qualified traffic engineer. The study shall evaluate project related traffic impacts on Liberty Road, Edge Road, and nearby intersections, and shall identify any roadway or traffic control improvements necessitated by the development. Any required improvements shall be completed or guaranteed, as determined by the City Engineer.

MOTION:

I move to approve the request to rezone the property located at 700 Edge Road (Parcel Number 01460250013) from C-2 (Commercial, Medium-Density) to I-1 (Industrial, Low-Density) subject to the three conditions recommended by staff.



Community Development Dept.
206 North Avenue,
Villa Rica, GA 30180.
smyers@villarica.gov.
678-785-9995

Community Development Department

Rezoning Request

Application Submittal Checklist

- ☒ 1. **Schedule Technical Advisory Committee (TAC) Meeting**
A TAC meeting is required before submitting zoning requests.
- ☒ 2. **Submit Water/Sewer Capacity Application (if applicable)**
New developments and changes in use require prior approval from the Utility Department.
- ☒ 3. **Proof of Ownership or Authorization**
Copy of deed, lease, option agreement, or other evidence of ownership or applicant's legal interest in the property. If applicant is not the property owner, submit the owner's authorization form.
- ☒ 4. **Site Plan**
A site development plan prepared in conformance with submittal requirements in *Sec. 11.03* (unless it is waived by Community Development Director or requested zoning district is Single-Family Residential)
- ☒ 5. **Statement of Intent**
A written statement describing the following:
 - i. The proposed uses and the effect the proposed use may have on surrounding properties and a statement of the facts indicating that the proposed change will not be detrimental to the general public interest and the purposes of the Zoning Ordinance.
 - ii. Whether such change is consistent with the intent and the purpose of the Zoning Ordinance and the goals and policies of the Comprehensive Plan.
 - iii. The areas which are most likely to be directly affected by such a change and the likely effects.
 - iv. Whether the proposed amendment is made necessary because of changed or changing social values, new planning concepts, or other social or economic conditions in the areas and zoning districts affected.
 - v. The proposed time schedule and phasing for development.
 - vi. The source/method for providing utility/infrastructure services to the property.
 - vii. A description of existing road conditions and any new roads to be included in the development and of the effect the proposed development will have on existing road and traffic conditions; and
 - viii. A list of any state, federal, or other public agencies' approvals or permits required for the proposed development.
- ☐ 6. **Additional Exhibits or Studies** N/A
Any other information or exhibits or studies that are substantial to the request, or if required by the Community Development Director or Planning and Zoning Commission.
- ☒ 7. **Application Fee**
Pay the applicable zoning fee. The current fee schedule is included in the application packet.



Community Development Dept.
206 North Avenue,
Villa Rica, GA 30180.
smyers@villarica.gov.
678-785-9995

Rezoning Request

Review Process, Fee Schedule and Calendar

Rezoning Review Process

Pre-Application Conference

Applicants must request a pre-application conference with staff to discuss the proposal before filing a rezoning request.



Application Filed with the Department

- Staff reviews the application for completeness.
- A public hearing date is scheduled.
- Required public notification is issued.



Planning Commission Public Hearing & Action

- A public hearing is held within **45 days** of filing application.
- Planning Commission (PC) considers staff recommendation, the applicant's presentation, and public testimony.
- PC action recommends **approve** or **deny** to City Council



City Council Public Hearing and Action

- A public hearing is held within **45 days** of PC action.
- Council considers Staff and PC recommendations, the applicant's presentation, and public testimony.
- The City Council may either **approve** or **deny** the request.

Rezoning Fee Schedule

Acreage	Residential	Commercial	Industrial	PUD
0-5	\$300	\$600	\$750	\$800
5.1-10	\$400	\$700	\$850	\$1000
10.1-20	\$600	\$1100	\$1100	\$1200
20.1-30	\$800	\$1200	\$1300	\$1500
30.1-40	\$900	\$1400	\$1400	\$1600
40.1-50	\$1000	\$1500	\$1600	\$1800
50.1-60	\$1100	\$1600	\$1700	\$1900
60.01 +	\$1200 + 25/acre Max. of \$2500	\$1600 + 25/acre Max. of \$4000	\$1800 + 25/acre Max. of \$5000	\$2000 + 25.99/acre Max. of \$6000

Zoning Calendar

Click Here for Calendar
or Scan QR Code





Community Development Dept.
206 North Avenue,
Villa Rica, GA 30180.
smyers@villarica.gov.
678-785-9995

Rezoning Request

Application Form

Applicant Information

Name	CHI/Acquistion, L.P.	Phone	404-665-9997
Mailing Address	3715 Northside Parkway NW, Building 200, Suite 800, Atlanta, GA 30327		
Email	jbateman@crowholdings.com		

Rezoning Request Property Information

Address	700 Edge Road, Villa Rica, GA 30180	Parcel ID Number(s)	01460250013 & 01430250013
Acreage	29.79	Lot Number(s)	
Present Zoning	C2	Proposed Zoning	I1
Present Use	Vacant	Proposed Use	Industrial/Warehouse

Additional Information, If Applicable

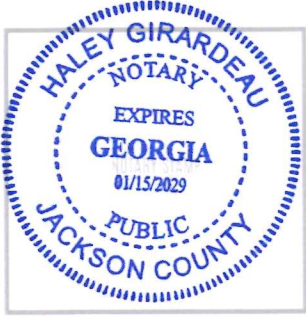
Gross Density		Net Density	
Open Space %	46	Impervious Surface %	54

Notary Attestation

I, John Bateman, hereby state that the above statements and statements contained in the documents submitted with this application are true and correct to the best of my knowledge. I hereby request processing of this application.

Executed in Atlanta (City), GA (State).

<u>[Signature]</u> Signature of Applicant	<u>John Bateman</u> Printed Name	<u>11/20/25</u> Date
Subscribed and sworn before me this <u>20</u> day of <u>NOV</u> , 20 <u>25</u>		
<u>[Signature]</u> Signature of Notary Public	<u>Halcy Girardeau</u> Name of Notary Public	<u>01-15-29</u> My Commission Expires



For Official Use Only

Case #		Acceptance Date	
Application Accepted by		City Council Hearing	
Planning Commission Hearing			



Community Development Dept.
206 North Avenue,
Villa Rica, GA 30180.
smyers@villarica.gov.
678-785-9995

Rezoning Request

Campaign Contribution Disclosure

In accordance with the Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A, the following questions must be answered: Has the applicant made, within two (2) years immediately preceding the filing of this application for rezoning, campaign contributions aggregating \$250 or more or made gifts having in the aggregate a value of \$250 or more to a member of the City Council or Planning Commission who will consider the application?

Yes ☐ No ☐

If Yes, the applicant and the attorney representing the applicant must file a disclosure report with the City within ten (10) days after this application is first filed. Please supply the following information that will be considered as the required disclosure:

Council / Planning Commission Member	Dollar amount of Campaign Contribution	Description of Gift \$250 or greater

<u>[Signature]</u> Signature of Applicant	<u>John Bateman</u> Printed Name	<u>11/20/25</u> Date
--	-------------------------------------	-------------------------

State of GA, County of Fulton

This instrument was acknowledged before me this 20 day of November.

20 25 by John Bateman. Identification Presented: Known to me

<u>[Signature]</u> Signature of Notary Public	<u>Halay Girardeau</u> Name of Notary Public	<u>01-15-29</u> My Commission Expires
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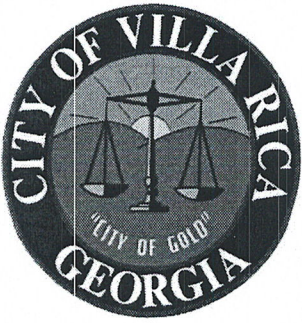
_____ Signature of Attorney	_____ Printed Name	_____ Date
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State of _____, County of _____.

This instrument was acknowledged before me this _____ day of _____.

20 _____, by _____, Identification Presented: _____.

_____ Signature of Notary Public	_____ Name of Notary Public	_____ My Commission Expires
-------------------------------------	--------------------------------	--------------------------------



Community Development Dept.
206 North Avenue,
Villa Rica, GA 30180.
smyers@villarica.gov.
678-785-9995

Rezoning Request

Owner's Authorization Form

Applicant Information

Applicant Name CHI/Acquisition, L.P.

Applicant's Address 3715 Northside Parkway NW, Building 200, Suite 800, Atlanta, GA 30327

Property Address 700 Edge Road, Villa Rica, GA 30180

Property PIN 01460250013 & 01430250013

This is to certify that I am ☐ or We are ☐ or I am ☐ the Authorized Representative of a Corporation that is the owner of a majority interest in the subject property of the attached application. By execution of this form, this is to authorize the person names as "applicant" below, acting on behalf of the owner, to file for and pursue a request for approval of the following:

Check all that apply:

Variance ☐

Special Exception ☐

Rezoning ☒

Administrative Variance ☐

Floodplain Variance ☐

Appeal of Administrative Decision ☐

Signature of Property Owner(s)

Kongmei Wang
Signature of Owner

KONGMEI WANG
Printed Name

11/22/25
Date

State of GA, County of Paulding.

This instrument was acknowledged before me this 22nd day of November.

20 25, by KONGMEI WANG. Identification Presented: DRIVER'S LIC.

Minerva Vidot
Signature of Notary Public

MINERVA VIDOT
Name of Notary Public

02.15.2027
My Commission Expires

Minerva Vidot
Notary Public
Paulding County, GA
Commission Expires: February 15, 2027

Signature of Owner

Printed Name

Date

State of _____, County of _____.

This instrument was acknowledged before me this _____ day of _____.

20 _____, by _____ Identification Presented: _____.

Signature of Notary Public

Name of Notary Public

My Commission Expires



Community Development Dept.
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Villa Rica, GA 30180.
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Rezoning Request

Campaign Contribution Disclosure

In accordance with the Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A, the following questions must be answered: Has the applicant made, within two (2) years immediately preceding the filing of this application for rezoning, campaign contributions aggregating \$250 or more or made gifts having in the aggregate a value of \$250 or more to a member of the City Council or Planning Commission who will consider the application?

Yes ☐ No ☒

If Yes, the applicant and the attorney representing the applicant must file a disclosure report with the City within ten (10) days after this application is first filed. Please supply the following information that will be considered as the required disclosure:

Council / Planning Commission Member	Dollar amount of Campaign Contribution	Description of Gift \$250 or greater


Signature of Applicant

John Bateman
Printed Name

11/20/25
Date

State of GA, County of Fulton

This instrument was acknowledged before me this 20 day of November

20 25 by John Bateman Identification Presented: known to me


Signature of Notary Public

Haley Girardeau
Name of Notary Public

01-15-29
My Commission Expires




Signature of Attorney

Joseph H. Fowler
Printed Name

11-25-25
Date

State of GA, County of Douglas

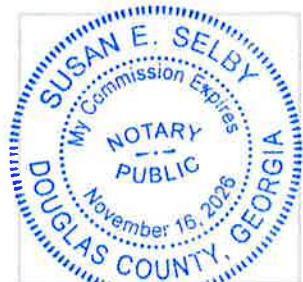
This instrument was acknowledged before me this 25th day of November

25 by Joseph H. Fowler Identification Presented: known to me


Signature of Notary Public

Susan E. Selby
Name of Notary Public

11-16-2026
My Commission Expires



12/1/2025

Community Development Department
206 North Avenue
Villa Rica, GA 30180

Subject: Statement of Intent Rezoning Request – Liberty Road, Villa Rica, GA

Dear Community Development Staff:

Hartley, Rowe & Fowler, P.C. submits the attached rezoning application (the "Application") on behalf of CHI/Acquisitions LP (the "Applicant"), relating to a proposed development of two parcels (01460250013 and 01430250013) totaling approximately 29.79-acres at the southeast corner of Tom Murphy Freeway and Liberty Road, Villa Rica, GA, from C-2 General Commercial to I-1 Light Industrial. The proposed development would include one industrial building of approximately 278,560-square-feet as depicted on the site plan (the "Site Plan") submitted with the Application.

Project Summary

The project proposes a light industrial building with on-site loading areas, trailer and employee parking, internal truck circulation, stormwater management, and perimeter landscaping. The proposed building would include concrete tilt-up walls with high-quality architectural elements, such as articulated parapets and attractive glass treatments near the main office entrance as depicted in the building renderings/photographs submitted with the Application. The site's location between the interstate frontage and existing industrial uses make it ideally suited for light industrial zoning.

1. Compatibility and Public Interest

The proposed warehouse/distribution use is consistent with nearby industrial and commercial properties, including a large auto auction to the south. All truck activity will occur on-site, and buffers, screening, and lighting controls will mitigate potential visual and noise impacts. Required landscaping and screening will be provided for the adjacent residential sites to the east.

2. Consistency with Plans and Ordinances

Rezoning to I-1 aligns with the Villa Rica Zoning Ordinance and Comprehensive Plan by placing industrial uses near major transportation corridors, supporting economic development, job creation, and efficient land use along the highway. As depicted on the site plan, the building is compliant with the building setbacks and landscape setbacks as required by the I-1 zoning designation.

3. Anticipated Effects

The primary impacts will be daytime truck and employee traffic at site access points and increased utility demand. These will be managed through coordinated access design, and infrastructure planning with city departments.

4. Changed Conditions

Growing regional demand for logistics facilities and planning policies that cluster freight uses near highways support rezoning. The change reflects current market and transportation trends, aligning zoning with the property's best use.

5. Development Schedule

Following rezoning, entitlement and permitting are expected within six months, with site construction in months 12 and building completion by month 20. No phasing is proposed.

6. Utilities and Infrastructure

Stormwater will be managed on-site per BMP standards. Power, gas, and communications will be extended in coordination with utility providers. Due to limited municipal water capacity, an on-site fire protection tank is proposed. A temporary septic system will serve the site until city sewer service becomes available for connection.

7. Access and Traffic

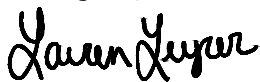
Liberty Road will serve as primary access with highway connectivity. The site driveway ties in via Edge Road at Liberty Road which is now a signalized intersection with the construction of Peach State Truck Center.

8. Approvals

Approvals will include City of Villa Rica rezoning and site plan review, building and grading permits, and any required EPD or utility permits.

The proposed rezoning from C-2 to I-1 is appropriate given the site's freeway access, surrounding industrial uses, and alignment with Villa Rica's Comprehensive Plan. The project will support local economic growth and job creation while minimizing impacts through on-site buffering, and infrastructure coordination. Overall, the rezoning serves the public interest by promoting efficient, compatible, and well-planned industrial development

Best regards,



Ware Malcomb

Lauren Leyrer, PE



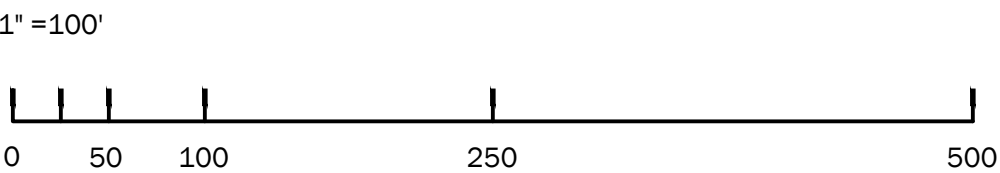
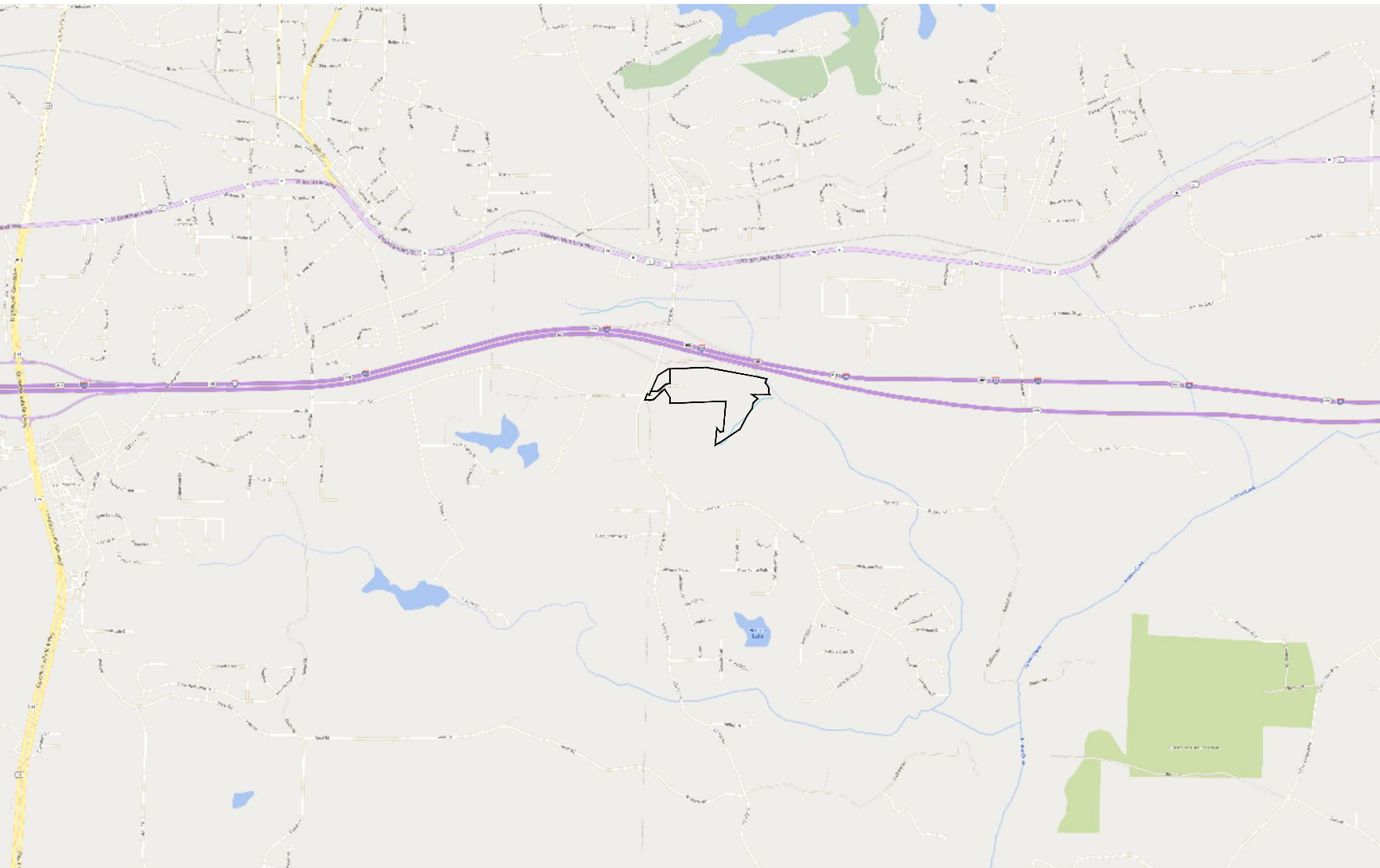
DEVELOPMENT STANDARDS		
Zoning		
Jurisdiction	City of Villa Rica, GA	
Zoning Designation	I-1 ¹	
Max Building Coverage	50%	
Max Height	45 FT ²	
Req. Landscape	25% ⁶	
Building Setbacks	Front	50 FT ³
	Side	40 FT ²
	Rear	50 FT ²
Landscape Setbacks	Front	20 FT ⁴
	Side	10 FT ⁵
	Rear	10 FT ⁵
Parking Standards	Min Stall Size	10X20 ⁷
	Drive Aisle	24 FT
	Fire Lane	20 FT
	Landscape Islands	180 SF

PROJECT DATA		
Site Summary		
Gross Site Area	1,297,652 SF	APN(s): ## 29.79 AC
Stormwater Management	88,921 SF	@ 7%
Net Site Area	1,208,731 SF	27.75 AC
Total Building Area(s)	Gross Floor Area	278,560 SF
	Footprint	278,560 SF
Coverage	Gross	21%
	Net	23%
FAR	Gross	0.21
	Net	0.23
Building 1		
Building Area(s)	Footprint	278,560 SF
Cars Provided	@0.62/1,000 SF	172 Stalls
	Req. Accessible	6 Stalls
Drive-in Doors		2
Docks	@1/4,567 SF	61
Trailers		41 Stalls

- Notes**
1. Current zone is C-2, rezoning to I-1 (Light Industrial) is required.
 2. For principal structures.
 3. PA: 50 ft MA: 45 ft MC: 45 ft RC: 40 ft LR: 35 ft
 4. All parking lots, including parking spaces (excluding interior drives and loading/unloading areas), shall be separated from all public or private street rights-of-way by a landscape screen that is a minimum of twenty (20) feet in width.
 5. Parking areas adjacent to other developed parcels shall require a planting area that is a minimum ten (10) feet in width. Parking lots shall be screened adjacent to the residential use or zoning district to a minimum height of four (4) feet in accordance with the appropriate buffer yard.
 6. 75% max impervious area. For parking lots with more than 25 spaces; five percent (5%) of vehicular use area shall be landscaped. The minimum landscape area permitted shall be one-hundred eighty (180) square feet with trees planted a minimum of four (4) feet from the curb or the edge of the pavement.
 7. Parking areas shall be separated by a minimum of five (5) feet from the façade of a building or structure by an elevated sidewalk or planting strip. A maximum of fifty (50) percent of the required parking shall be located between the front facade and the primary street. The balance of the parking shall be on the rear or side of the primary building.

DEVELOPER:
CHI/ACQIUSTION, L.P.
JOHN BATEMAN
JBATEMAN@CROWHOLDINGS.COM
404-665-9997

CIVIL ENGINEER:
WARE MALCOMB
LAUREN LEYRER, PE
LLEYRER@WAREMALCOMB.COM
470-426-8783



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Boundary Source:
REGRID PARCEL DATA
www.regrid.com

Stormwater Management Design:
AVERAGE REGIONAL REQUIRED
PROVIDED

SCHEME: 03

Conceptual Site Plan
Crow Holdings
Liberty Road, Villa Rica, GA

WARE MALCOMB

ATL24-4037-00
2025.12.01

PAGE
01

Sample Entry Views



Sample Entry Views

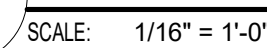
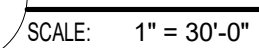
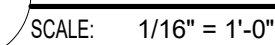


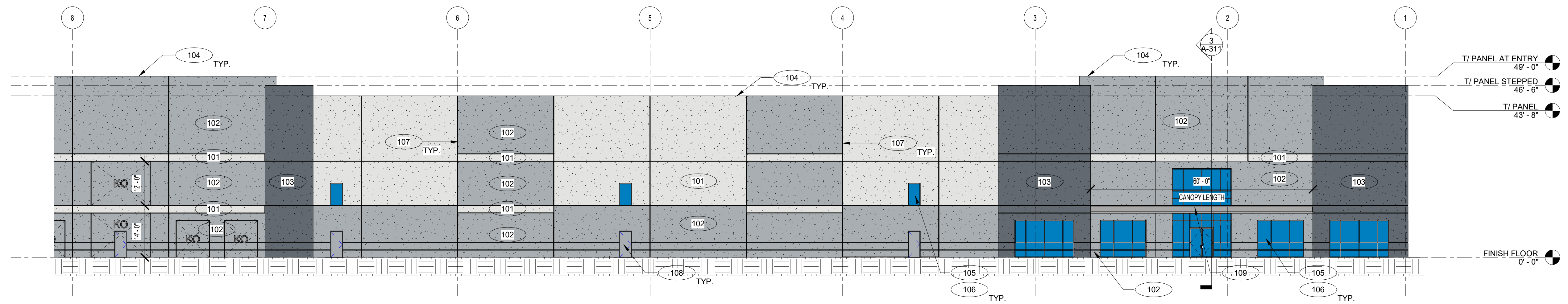
KEYNOTES

106	JOINT SEALER: ALUM. STOREFRONT 240CQ DYMERIC TEMFO OR EQUAL COLOR: ANODIZED ALUMINUM
107	JOINT SEALER: S.O.C.P. JOINTS MASTERSEAL NP-2 POLYURETHANE OR EQUAL COLOR: TBD
108	EXPPOSED METAL DOORS & FRAMES COLOR: PAINTED TO MATCH ADJACENT PANEL PAINT COLOR
109	PRE-ENGINEERED METAL CANOPY WITH 4 MM ACM FASCIA AND 0.05" FASCIA GUTTER COLOR: REYNOLBOND TBD
110	PRE-ENGINEERED BULLNOSE CANOPY COLOR: PAC-CLAD TBD

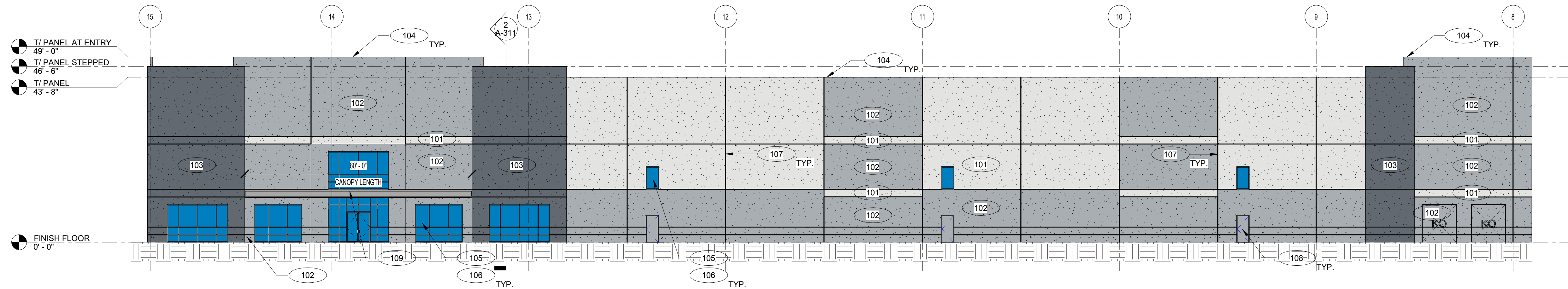
- | | |
|----|--|
| E1 | CONCRETE SERVICE RAMP, SEE 12/A-401 |
| E2 | STAIR AND GUARDRAIL, TYP. SEE 6/A-401, 8/A-401, 10/A-401 |
| E3 | DOCK BUMPER - SEE WALL SECTIONS |
| E4 | LED WALL PACK - SEE ELECTRICAL DRAWINGS |
| E6 | LOUVER - SEE MECHANICAL DRAWINGS |

SCALE: 1" = 30'-0"

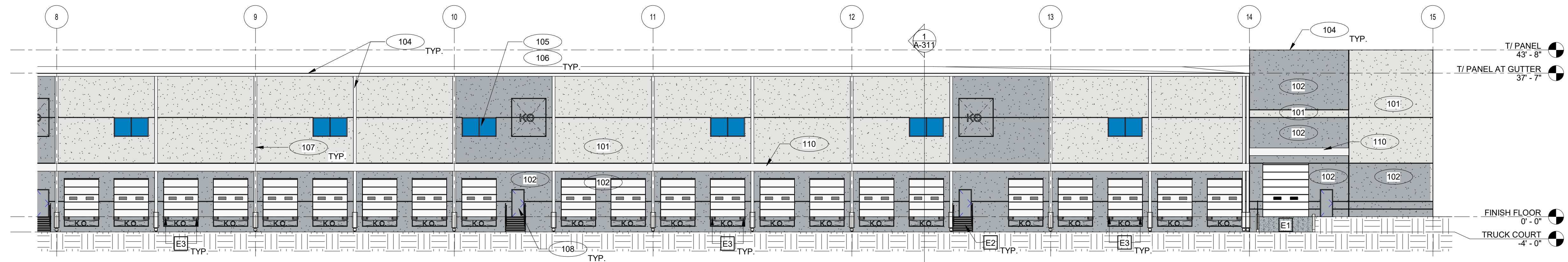




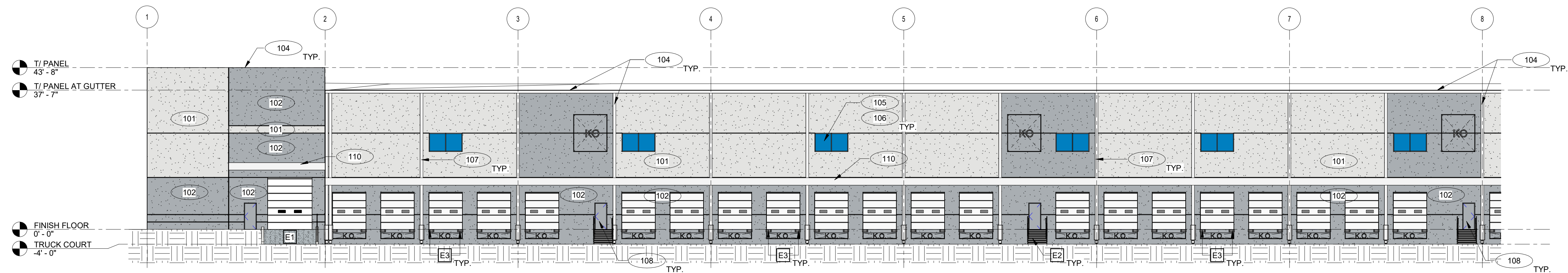
1 PARTIAL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 PARTIAL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



3 PARTIAL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 PARTIAL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

GENERAL NOTES

SEE SHEET A-201 FOR GENERAL NOTES

KEY NOTES

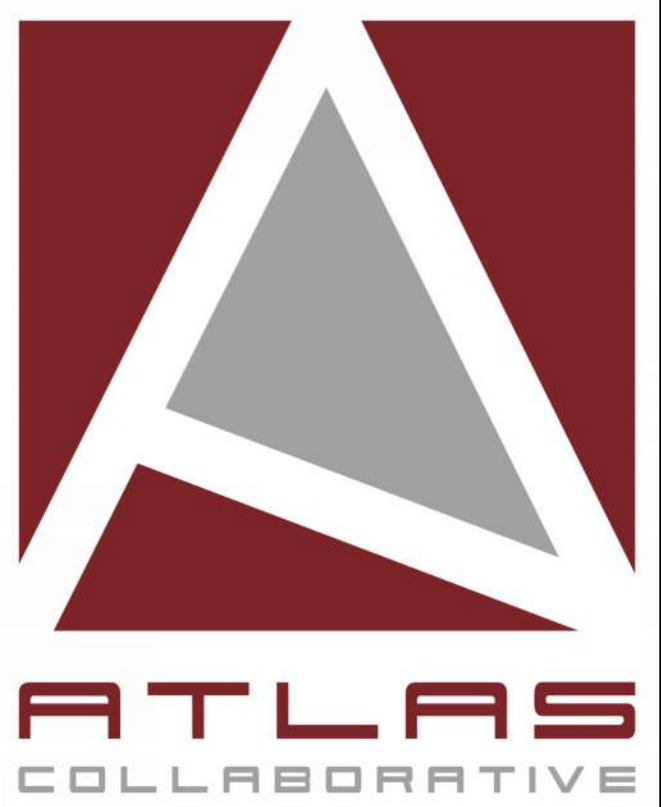
SEE SHEET A-201 FOR KEY NOTES

GLASS SCHEDULE

SEE SHEET A-201 FOR GLASS SCHEDULE

EXTERIOR FINISH SCHEDULE

SEE SHEET A-201 FOR EXTERIOR FINISH SCHEDULE



CROW HOLDINGS

INDUSTRIAL

UNIVERSITY LOGISTICS
PKWY
BUILDING 200

1925 WINDER HIGHWAY
DACULA, GA 30019

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Print Record

17 OCTOBER 2022	DESIGN REVIEW
02 JULY 2024	DESIGN REVIEW
15 JULY 2024	50% DESIGN REVIEW
31 JULY 2024	60% DESIGN REVIEW
21 AUGUST 2024	95% DESIGN REVIEW
04 SEPTEMBER 2024	REVISED 95% DESIGN REVIEW
07 MAY 2025	REVISED 95% DESIGN REVIEW

Revisions

Issue Date: 09/07/2025
Job No.: 2201084 - 200

Sheet Title

EXTERIOR ELEVATIONS

Sheet No.

A-202

NOT ISSUED FOR CONSTRUCTION

A 1" INSULATED INNER PANE 1/4" OUTER PANE 1/4" INNER PANE HEAT STRENGTHENED INNER PANE HEAT STRENGTHENED GUARDIAN GLASS STYLE: SUNGLARD SN 68 COLOR: GRAY-CLEAR	B 1" INSULATED INNER PANE 1/4" OUTER PANE 1/4" INNER PANE TEMPERED INNER PANE TEMPERED GUARDIAN GLASS FABRICATOR: SUNGLARD SN 68 COLOR: GRAY-CLEAR	C 1" INSULATED INNER PANE 1/4" OUTER PANE 1/4" INNER PANE TEMPERED INNER PANE TEMPERED GUARDIAN GLASS FABRICATOR: SUNGLARD SN 68 WITH STYLE: DECO HT COLOR: GRAY-CLEAR
COATINGS: Low-E ON #2 SURFACE	COATINGS: Low-E ON #2 SURFACE	COATINGS: Low-E ON #2 SURFACE WITH #4 SURFACE BLACK SPANDREL
U-VALUE: 29 SHGC: 25	U-VALUE: 29 SHGC: 25	U-VALUE: - SHGC: -

101	EXTERIOR TEXTURE COATING: PAINTED CONCRETE SHERWIN WILLIAMS ULTRACRETE OR EQUAL COLOR: TBD	COLOR LEGEND SEE ELEVATION	106	JOINT SEALER: ALUM. STORFRONT TREMCO DYMERIC 240FC OR EQUAL COLOR: ANODIZED ALUMINUM
102	EXTERIOR TEXTURE COATING: PAINTED CONCRETE SHERWIN WILLIAMS ULTRACRETE OR EQUAL COLOR: TBD	COLOR LEGEND SEE ELEVATION	107	JOINT SEALER: S.C.C.P. JOINTS MASTERSEAL NP-2 POLYURETHANE OR EQUAL COLOR: TBD
103	EXTERIOR TEXTURE COATING: PAINTED CONCRETE SHERWIN WILLIAMS ULTRACRETE OR EQUAL COLOR: TBD	COLOR LEGEND SEE ELEVATION	108	EXPOSED METAL DOORS & FRAMES COLOR: PAINTED TO MATCH ADJACENT PANEL PAINT COLOR
104	PRE-FINISHED METAL GRAVEL STOP, GUTTER, COPING, AND DOWNSPOUTS COLOR: PAC-CLAD - TBD		109	PRE-ENGINEERED METAL CANOPY WITH 4 MM ACM FASCIA AND 0.05" FASCIA GUTTER COLOR: REYNOLBOND TBD
105	ALUMINUM STORFRONT/CURTAIN WALL AS MANUFACTURED BY KAWNEER COLOR: CLEAR ANODIZED		110	PRE-ENGINEERED BULLNOSE CANOPY COLOR: PAC-CLAD TBD



1925 WINDER HIGHWAY
DACULA, GA 30019

Print Record	
29 OCTOBER 2022	DESIGN REVIEW
23 JUNE 2024	DESIGN REVIEW
02 JULY 2024	DESIGN REVIEW
15 JULY 2024	30% DESIGN REVIEW
31 JULY 2024	60% DESIGN REVIEW
21 AUGUST 2024	95% DESIGN REVIEW
04 SEPTEMBER 2024	REVISED 95% DESIGN REVIEW
07 MAY 2025	REVISED 95% DESIGN REVIEW

Revisions

Issue Date	Job No.
05/07/2025	2201084 - B10

Sheet Title

EXTERIOR ELEVATIONS

Sheet No _____

A-201

NOT ISSUED FOR CONSTRUCTION



925 WINDER HIGHWAY
DACULA, GA 30019

[Print Record](#)

29 OCTOBER 2022	DESIGN REVIEW
23 JUNE 2024	DESIGN REVIEW
02 JULY 2024	DESIGN REVIEW
15 JULY 2024	30% DESIGN REVIEW
31 JULY 2024	60% DESIGN REVIEW
21 AUGUST 2024	95% DESIGN REVIEW
04 SEPTEMBER 2024	REVISED 95% DESIGN REVIEW
07 MAY 2025	REVISED 95% DESIGN REVIEW

Revisions

[illegible]

Issue Date	Job No.
05/07/2025	2201084 - B100

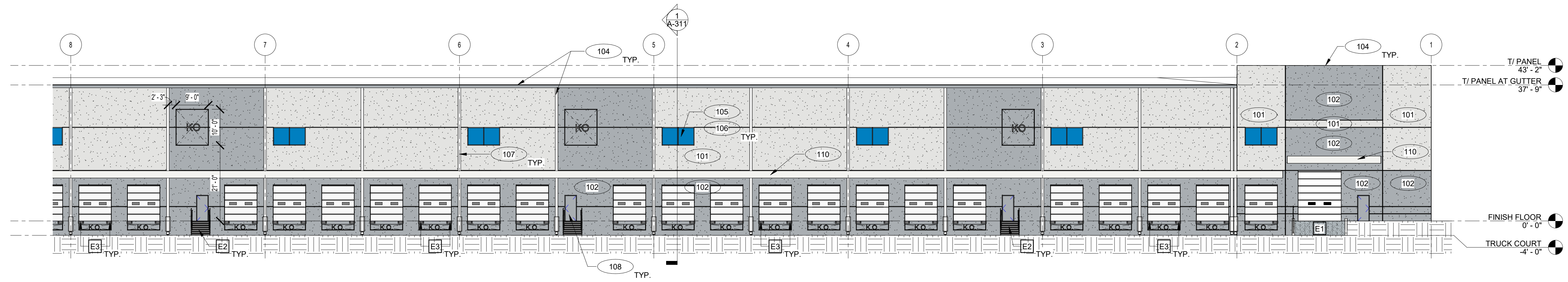
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EXTERIOR ELEVATIONS

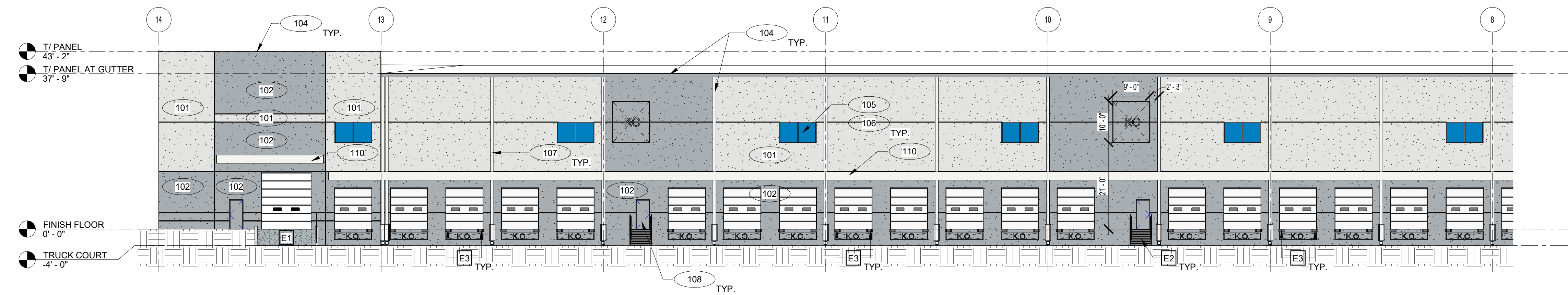
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A-202

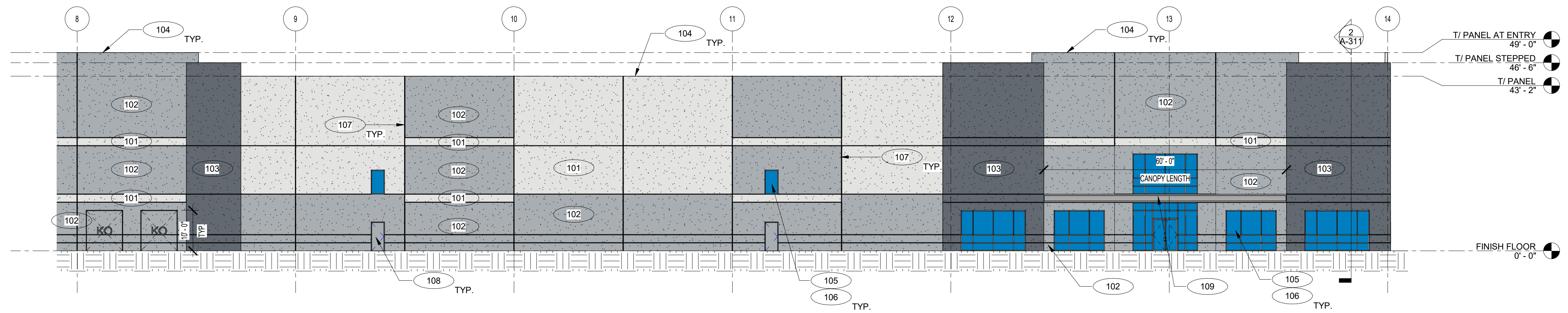
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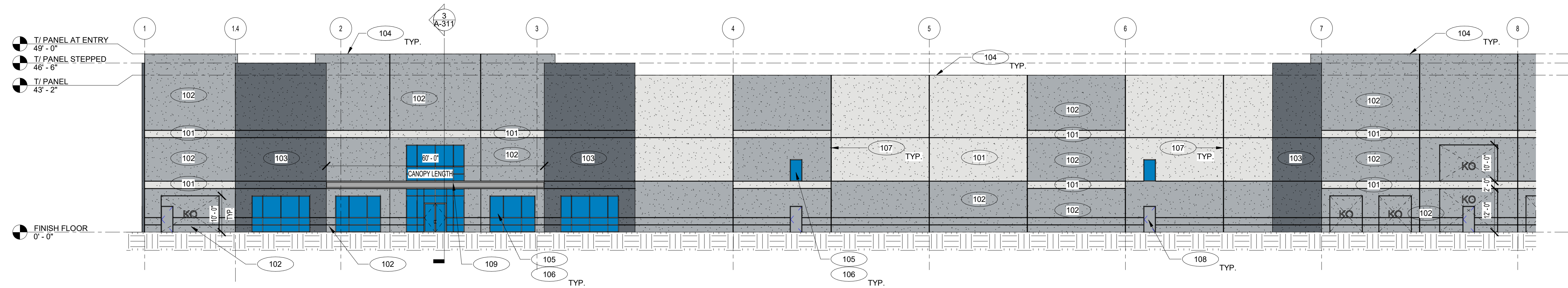
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SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



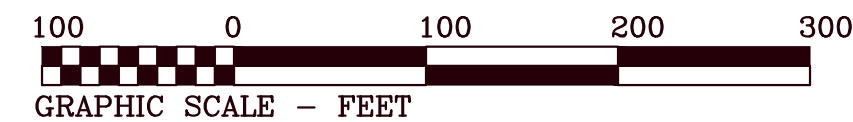
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SEE SHEET A-201 FOR GENERAL NOTES

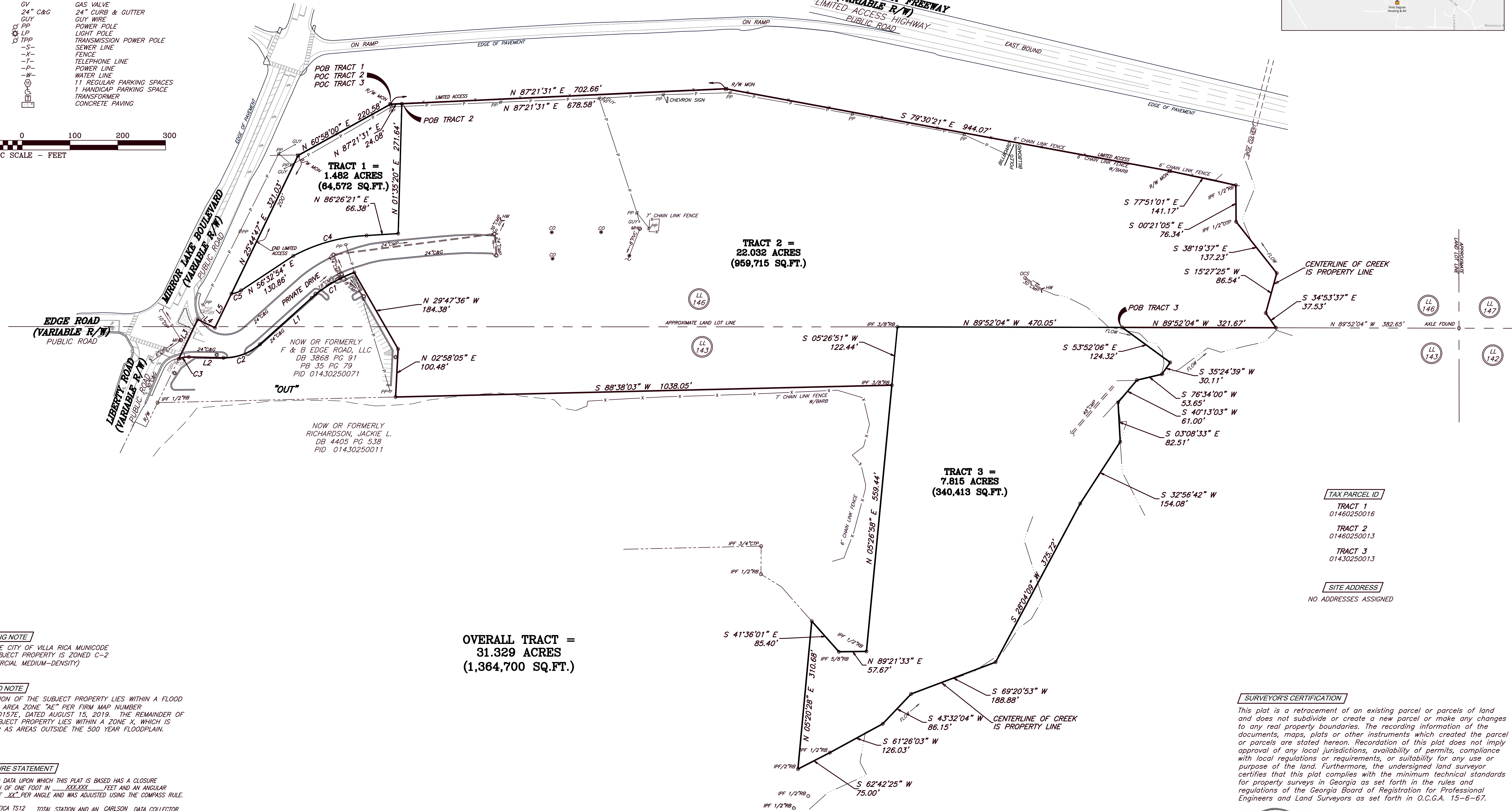
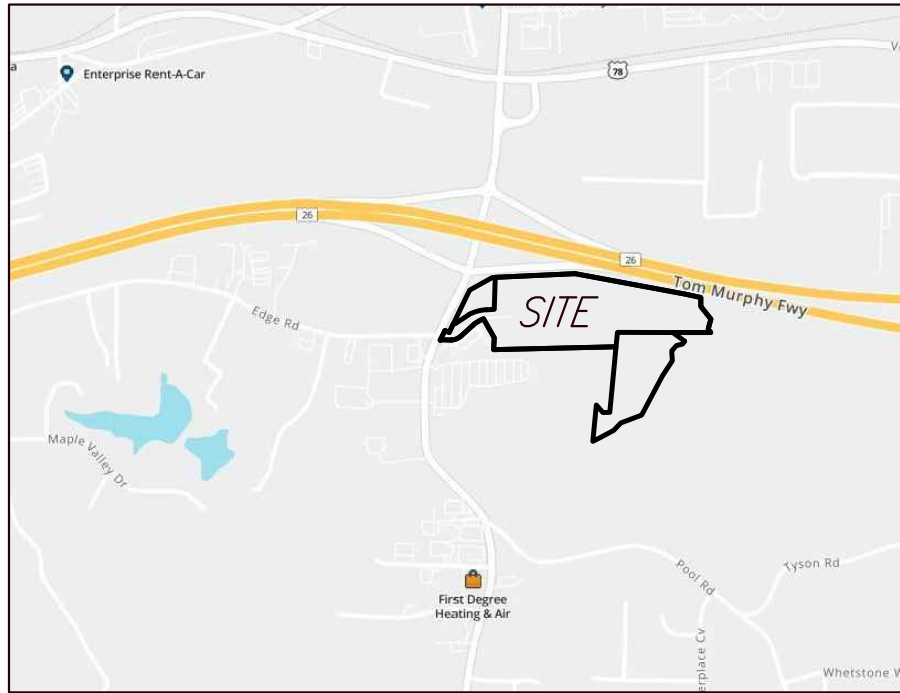
SEE SHEET A-201 FOR KEY NOTES

SEE SHEET A-201 FOR GLASS SCHEDULE

SEE SHEET A-201 FOR EXTERIOR FINISH SCHEDULE



LINE	BEARING	DISTANCE
L1	S 48°06'40" W	144.98'
L2	N 88°42'00" W	72.15'
L3	N 25°38'52" E	91.43'
L4	S 64°01'53" E	40.14'
L5	N 25°44'47" E	79.12'



Aubrey J. Akin, R.L.S. #3138

Aubrey J. Akin, R.L.S. #3138 Date



TSS
TECHNICAL SURVEY SERVICES, INC.
1641 Autumn Blvd, SW
Conyers, Georgia 30012
770) 922-6391 Office
info@tss-atl.com
www.tss-atl.com

[illegible]

Field Date: 11/18/2025

Plat Date: 11/25/2025

Scale: 1" = 100'

BOUNDARY SURVEY
FOR
CROW HOLDINGS DEVELOPMENT
LAND LOT 143 & 146 2ND DISTRICT
CITY OF VILLA RICA, DOUGLAS COUNTY, GEORGIA

1

SHEET 1 OF 1

JOB #: 2025-1338

CRD: 2025-1338CHILIBERTY

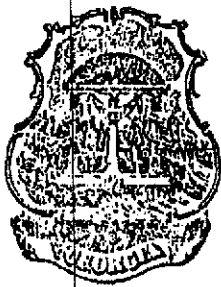
DWG:2025-1338 CHI LIBERT

LSV:

5215 Holly Springs Drive
Douglasville, GA 30135

WARRANTY DEED-

STANDARD WARRANTY DEED



STATE OF GEORGIA,

Douglas County.

THIS INDENTURE, made this 31st day of July
in the year of our Lord One Thousand Nine Hundred and Ninety Seven

between Top Hill Associates
of the State of New Jersey and County of Hunterdon of the first part
and Long Valley Inc.
of the State of Georgia and County of Douglas of the second part

WITNESSETH: That the said part of the first part, for and in consideration of the sum of
Less Than Ten DOLLARS

in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged
has granted, bargained, sold and conveyed and by these presents do grant, bargain, sell and convey unto
the said part of the second part, their heirs and assigns, all that tract or parcel of
land lying and being in the County of Douglas, said State of Georgia

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING in Land Lot 143
and Land Lot 146, 2nd District, 5th Section, Douglas County, Georgia,
and being more fully described on Exhibit "A" attached hereto and
incorporated herein by reference.

FILED

Oct 3 11 12 AM '97
DOUGLAS CO. COURT
JANE C. WILLIAMS, CLK

Douglas County, Georgia
Real Estate Transfer Tax

\$ 0 Date 10-3-97
Jane C. Williams
Clerk Superior Court

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in any wise appertaining, to the only proper use, benefit and behoof of Long Valley said parties of the second part, their heirs and assigns, forever, IN FEE SIMPLE.

And the said part ies, of the first part, for themselves, their heirs, executors and administrators will warrant and forever defend the right and title to the above described property unto the said part ies of the second part, their heirs and assigns, against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, The said part ies of the first part have hereunto set their hand and affixed their seal, the day and year above written.

Signed, sealed and delivered in the presence of

James M. Jackson
James M. Jackson 7-15-01

Kongmei Wang (Seal)
Kongmei Wang (Seal)

Tan An Wang (Seal)
Tan An Wang (Seal)

Kong Yun W. Chang (Seal)
Kong Yun W. Chang (Seal)
Partners for Top Hill Associates

I certify that on this 12 day of August 1997, Kong Yun W. Chang, personally came before me and acknowledged under oath, to my satisfaction, that this person signed, sealed and delivered this Deed as his or her act and deed.

Patricia Ann Matthews
PATRICIA ANN MATTHEWS
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Jan. 3, 2001

WARRANTY DEED

FROM

TO

Georgia, County

Clerk's Office, Superior Court.

Filed for Record at o'clock 19 M.

Recorded in Book 19 Folio

Clerk

Exhibit "A"

All that tract or parcel of land situate, lying, and being in Land Lot 143 and Land Lot 146, 2nd District, 5th Section, Douglas County, Georgia, and being more particularly described as follows: To find the true point of beginning commence at an iron pin at the southeast corner of Land Lot 146 and running thence north 89 degrees 53 minutes 49 seconds west 384.50 feet along the south land lot line of Land Lot 146 to an iron pin at the point of beginning; from said true point of beginning running thence north 89 degrees 53 minutes 49 seconds west 790.00 feet to an iron pin; running thence south 05 degrees 24 minutes 14 seconds east 122.53 feet to an iron pin; running thence south 88 degrees 37 minutes 50 seconds west 1,536.86 feet to an iron pin on the east right of way of Liberty Road; running thence north 25 degrees 44 minutes 10 seconds east 193.82 feet to an iron pin; running thence north 89 degrees 19 minutes 53 seconds east 57.85 feet to an iron pin; running thence north 25 degrees 49 minutes 37 seconds east 400.15 feet to an iron pin; running thence north 60 degrees 55 minutes 32 seconds east 220.79 feet to an iron pin on the south right of way of Interstate 20 running thence north 87 degrees 25 minutes 15 seconds east 702.25 feet along said right of way to an iron pin; running thence south 79 degrees 34 minutes 50 seconds east 944.00 feet along said right of way to an iron pin; running thence south 76 degrees 32 minutes 23 seconds east 170.50 feet to an iron pin; running thence south 22 degrees 28 minutes 40 seconds west 71.99 feet to an iron pin; running thence south 37 degrees 17 minutes 07 seconds east 90.24 feet to an iron pin; running thence south 11 degrees 06 minutes 20 seconds east 57.60 feet to an iron pin; running thence south 01 degree 36 minutes 34 seconds west 39.66 feet to an iron pin; running thence south 17 degrees 59 minutes 45 seconds east 56.59 feet to an iron pin at the point of beginning; containing 25.20 acres and being more fully shown as Tract I on a plat of survey dated 8/18/88 said plat being incorporated herein by reference and recorded at Plat Book 16, page 235, Douglas County Records.

RECORDED 10-10 1997
JANE C. WILLIAMS, CLERK
SUPERIOR COURT, DOUGLAS CO

Please return to: ✓ Top Hill Associates
5215 Holly Springs Drive
Douglasville, GA 30135

STATE OF GEORGIA
COUNTY OF

QUIT CLAIM DEED

THIS INDENTURE made this 31st day of July 19 97 by and between
Top Hill Associates of the County of Hunterdon, State of New Jersey
as
party or parties of the first part, hereinafter referred to as "Grantor", and
Long Valley Inc. of the County of Douglas, State of Georgia as
party or parties of the second part hereinafter referred to as "Grantee", the words "Grantor" and "Grantee" to
include the neuter, masculine and feminine genders, the singular and the plural;

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of One Dollar and other good and valuable consideration delivered to Gran-
tor by Grantee at and before the execution, sealing and delivery hereof, the receipt and sufficiency of which is hereby ac-
knowledge, the Grantor has and hereby does remise, release, convey and forever quit claim unto Grantee and the heirs, legal
representatives, successors and assigns of Grantee, all the right, title, interest, claim or
demand which the said party of the first part has or may have in and
to the following described property:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING in Land Lot 143
and Land Lot 146, 2nd District, 5th Section, Douglas County,
Georgia, and being more fully described on Exhibit "A" attached
hereto and incorporated by reference herein.

FILED

OCT 3 11 13 AM '97

DOUGLAS CO. CLERK
JANE C. WILLIAMS, CL.

DOUGLAS COUNTY, GEORGIA
Real Estate Transfer Tax

Date 10-3-97

Jane C. Williams
Clerk Superior Court

TO HAVE AND TO HOLD said tract or parcel of land in order that neither the Grantor nor any person claiming under
Grantor shall at any time, by any means or ways, have, claim or demand any right or title to said land or any of the rights,
members and appurtenances thereof.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year first above written.

Signed, Sealed and Delivered in the presence of:

signature #142 only
signature #3
NOTARY PUBLIC
ELIZABETH A. SCANNELL
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 7-15-01

1. Kongmey Wang (Seal)
2. Kong yan Wang (Seal)
3. Kong yan Chang
X Kong Yun W. Chang

Partners for Top Hill Associates

ELIZABETH A. SCANNELL
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 7-15-01

Exhibit "A"

All that tract or parcel of land situate, lying, and being in Land Lot 143 and Land Lot 146, 2nd District, 5th Section, Douglas County, Georgia, and being more particularly described as follows: To find the true point of beginning commence at an iron pin at the southeast corner of Land Lot 146 and running thence north 89 degrees 53 minutes 49 seconds west 384.50 feet along the south land lot line of Land Lot 146 to an iron pin at the point of beginning; from said true point of beginning running thence north 89 degrees 53 minutes 49 seconds west 790.00 feet to an iron pin; running thence south 05 degrees 24 minutes 14 seconds east 122.53 feet to an iron pin; running thence south 88 degrees 37 minutes 50 seconds west 1,536.86 feet to an iron pin on the east right of way of Liberty Road; running thence north 25 degrees 44 minutes 10 seconds east 193.82 feet to an iron pin; running thence north 89 degrees 19 minutes 53 seconds east 57.85 feet to an iron pin; running thence north 25 degrees 49 minutes 37 seconds east 400.15 feet to an iron pin; running thence north 60 degrees 55 minutes 32 seconds east 220.79 feet to an iron pin on the south right of way of Interstate 20 running thence north 87 degrees 25 minutes 15 seconds east 702.25 feet along said right of way to an iron pin; running thence south 79 degrees 34 minutes 50 seconds east 944.00 feet along said right of way to an iron pin; running thence south 76 degrees 32 minutes 23 seconds east 170.50 feet to an iron pin; running thence south 22 degrees 28 minutes 40 seconds west 71.99 feet to an iron pin; running thence south 37 degrees 17 minutes 07 seconds east 90.24 feet to an iron pin; running thence south 11 degrees 06 minutes 20 seconds east 57.60 feet to an iron pin; running thence south 01 degree 36 minutes 34 seconds west 39.66 feet to an iron pin; running thence south 17 degrees 59 minutes 45 seconds east 56.59 feet to an iron pin at the point of beginning; containing 25.20 acres and being more fully shown as Tract I on a plat of survey dated 8/18/88 said plat being incorporated herein by reference and recorded at Plat Book 16, page 225, Douglas County Records.

RECORDED 10-10 1997
JANE C. WILLIAMS, CLERK
SUPERIOR COURT, DOUGLAS CO

BK 4420 PG 99 - 102

RETURN RECORDED DOCUMENT TO:

HARTLEY, ROWE & FOWLER, P.C.
P. O. BOX 489
DOUGLASVILLE, GA 30133
FILE NO. 25-0150W

Tax Parcel ID No. 01460250013

STATE OF GEORGIA
COUNTY OF DOUGLAS

QUITCLAIM DEED

THIS INDENTURE, made the 20th day of February in the year two thousand and twenty-five, between

SHOP RICA, LLC, a dissolved Georgia limited liability company

as party or parties of the first part ("Grantor"), and

LONG VALLEY, INC., a Georgia corporation

as party or parties of the second part ("Grantee") (the words Grantor and Grantee to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH: That Grantor, for and in consideration of the sum of one dollar (\$1.00) and other valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, by these presents does hereby remise, convey and forever **QUITCLAIM** unto the said Grantee, all right, title, interest, claim or demand which the Grantor has or may have had in and to the following property:

ALL THAT TRACT or parcel of land lying and being in Land Lots 143 and 146 of the 2nd District and 5th Section of Douglas County, Georgia, and being more particularly described on Exhibit "A" attached hereto and incorporated herein by reference.

LESS AND EXCEPT from the property described above is any portion thereof contained within the bounds of the property conveyed by the Limited Warranty

Deed executed by Shop Rica, LLC to Jai Vinaayak, Inc. on July 11, 2012, filed of record in Deed Book 3034, Pages 393-396, Douglas County, Georgia Records, and being more particularly described on Exhibit "B" attached hereto and incorporated herein by reference.

THIS DEED is executed by Shop Rica, LLC, pursuant to the authority of Georgia Code Annotated §14-11-611. The purpose of this Deed is to reconvey to Long Valley, Inc., the sole member of Shop Rica, LLC, any portion of the property described on Exhibit "A" that was not previously conveyed by Shop Rica, LLC.

TO HAVE AND TO HOLD the said described premises to Grantee, so that neither Grantor nor any person or persons claiming under Grantor shall at any time claim or demand any right or title to said premises or its appurtenances.

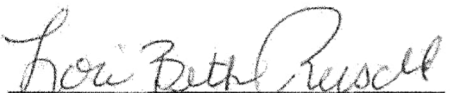
IN WITNESS WHEREOF, Grantor has signed and sealed this deed, the day and year first above written.

SHOP RICA, LLC,
a dissolved Georgia limited liability company

By:  (SEAL)
T. K. Wang, Manager

Signed, sealed and delivered
in the presence of:


Witness


Notary Public
My Commission Expires: 10-9-28
(SEAL)

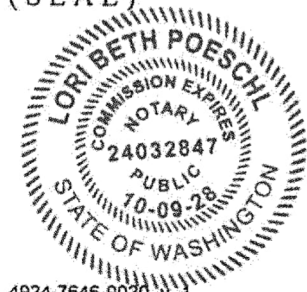


EXHIBIT "A"

BK PG
1927 1044

Legal Description

All that tract or parcel of land lying and being in land lots 143 and 146, of the 2nd District, 5th Section of Douglas County, Georgia and being more particularly described as follows:

Commencing at a concrete monument located at the intersection of the easterly right of way of Mirror Lake Boulevard (formerly known as Liberty Road) and the southerly right of way of the east bound entrance ramp to Interstate Highway No. 20, proceeding thence S24°07'34"W a distance of 400.39' along the easterly right of way of Mirror Lake Blvd., proceeding thence N65°37'10"W a distance of 40.19 along said right of way to a point, proceeding thence S24°03'33"W a distance of 91.49' along said right of way to a point, said point being the Point of Beginning. Proceeding thence southwesterly along the right of way of Mirror Lake Boulevard S24°03'33"W a distance of 102.33 to a point, proceeding thence leaving said right of way N86°57'13"E a distance of 499.53 to a point, proceeding thence N01°34'18"E a distance of 105.17 to a point, proceeding thence N32°10'20"W a distance of 180.77' to a point on the southerly right of way of Edge Road Extension as proposed, proceeding thence southwesterly along said right of way in a curve to the left having a radius of 270.00' a distance of 106.41' to a point, proceeding thence along said right of way S46°31'21"W a distance of 144.98' to a point on said right of way, proceeding thence along said right of way in a curve to the right having a radius of 111.00' a distance of 83.67' to a point, proceeding thence along said right of way S89°42'41"W a distance of 72.15' to a point on said right of way, proceeding thence southwesterly along said right of way in a curve to the left having a radius of 54.61' a distance of 21.68' to a point on the southeasterly right of way of Mirror Lake Boulevard (formerly known as Liberty Road), said point being the Point of Beginning. Said tract contains 74,506 square feet or 1.7104 acres.

BK 3034 PG 0395

EXHIBIT "B"

PROPERTY DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 143 AND 146 OF THE 2ND DISTRICT, 5TH SECTION OF DOUGLAS COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT ½" REBAR MARKING THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY OF EDGE ROAD EXTENSION (60' R/W) AND THE EASTERLY RIGHT OF WAY OF LIBERTY ROAD (R/W VARIES);
THENCE, ALONG THE SOUTHERLY RIGHT-OF-WAY OF EDGE ROAD EXTENSION AND ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 54.61 FEET A LENGTH OF 21.68 FEET SUBTENDED BY A CHORD BEARING OF NORTH 78 DEGREES 20 MINUTES 17 SECONDS EAST, A DISTANCE OF 21.54 FEET TO A ½" REBAR;
THENCE, NORTH 89 DEGREES 42 MINUTES 41 SECONDS EAST, A DISTANCE OF 72.15 FEET TO A ½" REBAR WITH CAP;
THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 111.00 FEET A LENGTH OF 83.67 FEET SUBTENDED BY A CHORD BEARING OF NORTH 68 DEGREES 07 MINUTES 01 SECONDS EAST, A DISTANCE OF 81.70 FEET TO A ½" REBAR WITH CAP;
THENCE, NORTH 46 DEGREES 31 MINUTES 21 SECONDS EAST, A DISTANCE OF 144.98 FEET TO A ½" REBAR WITH CAP;
THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 270.00 FEET A LENGTH OF 104.48 FEET SUBTENDED BY A CHORD BEARING OF NORTH 57 DEGREES 36 MINUTES 29 SECONDS EAST, A DISTANCE OF 103.83 FEET TO A ½" REBAR WITH CAP;
THENCE SOUTH 31 DEGREES 22 MINUTES 55 SECONDS EAST, A DISTANCE OF 184.38 FEET TO A ½" REBAR WITH CAP;
THENCE, SOUTH 01 DEGREES 23 MINUTES 43 SECONDS WEST, A DISTANCE OF 100.14 FEET TO A ½" REBAR WITH CAP;
THENCE, SOUTH 86 DEGREES 57 MINUTES 13 SECONDS WEST, A DISTANCE OF 497.93 FEET TO A ½" REBAR;
THENCE, ALONG THE RIGHT OF WAY OF LIBERTY ROAD, NORTH 24 DEGREES 03 MINUTES 33 SECONDS EAST, A DISTANCE OF 102.33 FEET TO THE POINT OF BEGINNING.
TOGETHER WITH AND SUBJECT TO COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD, SAID PROPERTY CONTAINS 1.69 ACRES, MORE OR LESS. SAID PROPERTY IS MORE FULLY SHOWN ON A SURVEY PREPARED BY HUGHES-RAY COMPANY, JOB NUMBER H12158, DATED JULY 3, 2012.

RETURN TO:

File No: 01-0901B
Return Recorded Document to:
Hartley, Rowe & Fowler, P.C.
P.O. Box 489
Douglasville, Georgia 30133

BK PG
1526 1002

FILED

2002 FEB 13 A 9:59

SUPERIOR COURT
DOUGLAS COUNTY, GA
CLERK

DOUGLAS COUNTY, GEORGIA
REAL ESTATE TRANSFER TAX

WARRANTY DEED

STATE OF GEORGIA
COUNTY OF DOUGLAS

\$ 375.00 DATE 4-8-02
Candy W. Chaffin
CLERK SUPERIOR COURT

THIS INDENTURE, made the 11th day of February, in the year two thousand Two, between

Q & S PROPERTIES, LLC

of the County of FULTON, and State of GEORGIA, as party or parties of the first part, hereinafter called
Grantor, and

LONG VALLEY, INC.

as party or parties of the second part hereinafter called Grantee (the words "Grantor" and "Grantee" to include
their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of other good and valuable considerations and the sum
of Ten and no/100 (\$10.00) Dollars in hand paid at and before the sealing and delivery of these presents, the
receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by
these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee:

**ALL THAT TRACT or parcel of land lying and being in Land Lot 146 of the 2nd District and 5th
Section of Douglas County, Georgia and being more particularly described on Exhibit "A" attached
hereto and incorporated herein by reference.**

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and
appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use,
benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described
property unto the said Grantee against the claims of all persons whomsoever.

01526,
1003

BK PG
1526 1003

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in the presence of:

Sue Chastee
Unofficial Witness

Sheila G. Clark
Notary Public

NOTARY PUBLIC, COBB COUNTY, GEORGIA
MY COMMISSION EXPIRES JUNE 12, 2003



Q & S PROPERTIES, LLC
By: Victor Smith (Seal)
VICTOR SMITH
Title: MEMBER/MANAGER

By: _____ (Seal)

(AFFIX CORPORATE SEAL)

BK PG
1526 1004

Exhibit "A"

Legal Description

All that tract or parcel of land lying and being in land lot 146 of the 2nd District, 5th Section of Douglas County, Georgia. Being more particularly described as follows.

Commencing at a concrete monument found at the intersection of the southeastern right of way of Liberty Road and the southeastern right of way of Interstate Highway 20, proceeding thence N 59-19'16" E a distance of 220.69' along the southern right of way of Interstate Highway 20 to a concrete monument found, proceeding thence along said right of way N 85-44'38" E a distance of 24.29' to an iron pin placed on said right of way, leaving said right of way pt S 00-00'00" E a distance of 271.65' to a point on the north right of way of a proposed road (having a 60' right of way), proceeding thence along said proposed road S 84-46'50" W a distance of 66.38' to a point, proceeding thence along said proposed road following a curve to the left an arc distance of 159.32' to a point, proceeding thence along said proposed road S 57-09'37" W a distance of 130.86' to a point, proceeding thence along said proposed road following a curve to the right an arc length of 21.53' to a point on the southeastern right of way of Liberty Road, proceeding thence N 24-07'34" E a distance of 320.97' along said right of way to a point, said point being the point of commencement. Said tract contains 1.500 acres as shown on plat prepared by P. T. & B. Engineering, Inc, dated 5/15/2000, bearing a job number of 00141-96219.

APR 18 2002

RECORDED
CINDY W. CHAFFIN, CLERK
SUPERIOR COURT, DOUGLAS CO., GA

December 1, 2025

PROPOSED REZONING ON PROPERTY
BY CHI/ACQUISITION, L.P.
NOTICE OF CONSTITUTIONAL CHALLENGE

BACKGROUND

Long Valley, Inc. is the Owner of land located at 700 Edge Road in Villa Rica, Georgia (the "Property"). An application for an annexation and rezoning from C2 to I1 for industrial warehousing was filed by CHI/Acquisition, L.P. (the "Applicant").

PROPOSED USE

The Applicant requests a rezoning from C2 to I1 for the development of industrial warehousing on the Property.

CONSTITUTIONAL REQUIREMENTS

In accordance with the requirements of various Georgia cases, including *OS Advertising Company v. Rubin*, 263 Ga. 761 (1994); *Cobb County Board of Commissioners v. Poss*, 257 Ga. 393 (1987); and *Gradous v. Board of Commissioners*, 256 Ga. 469 (1989), it is hereby submitted that, if not rezoned as requested by this action, the Villa Rica City Zoning Ordinance presently in effect, with any amendments, which prohibits the Project, is unconstitutional in that it renders the Property unusable and destroys its marketability. As such, the current zoning classification constitutes a taking of the Property without just and adequate compensation and without due process of law in violation of the Fourteenth Amendment to the United States Constitution and in violation of Article I, Section I, Paragraph I and Article I, Section III, Paragraph I(a) of the Constitution of the State of Georgia. In this connection, the Applicant contends that to deny the rezoning constitutes an abuse of the police power, in that such denial bears no substantial relation to the public health, safety, morality, or general welfare. Accordingly, such action would

constitute a deprivation of Property rights without due process of law. Furthermore, to deny the rezoning results in relatively little gain or benefit to the public while inflicting serious injury or loss on the Applicant and Owner. To this extent, such action is confiscatory and void. The Property is best suited for the rezoning use, as proposed by the Applicant, and to deny the rezoning renders the Property unusable and destroys its marketability. This is a taking of Property without just compensation and without due process of law. In reality, the denial of the requested rezoning causes a detriment to public good, in that the public can be served by the development proposed by the Applicant given the particular location of this Property.

Accordingly, we respectfully urge your approval of the rezoning request.

CITY COUNCIL
LESLIE MCPHERSON, MAYOR
DANNY CARTER
SHIRLEY MARCHMAN
MATTHEW MONTAHAN
STEPHANIE WARMOTH
ANNA MCCOY

City of Villa Rica



INTERIM CITY MANAGER: JENNIFER
HALLMAN
CITY CLERK: THERESA CAMPBELL
CITY ATTORNEY: KEVIN DRUMMOND

571 W BANKHEAD HWY
VILLA RICA, GA 30180
770.459.7000 | VILLARICA.ORG

October 24, 2025

RE: Letter of Availability
700 Edge Road
Villa Rica, GA 30180

To: Crow Holdings

This letter is written as conditional approval of the Commercial Water and Sewer Capacity Request for the address above. This capacity is approved for an average flow of 3,500 gallons per day per the application submitted, and is approved upon the following conditions:

1. The owner will initially utilize a septic system for wastewater treatment and, at owner's expense, connect to the city's sewer utility within eighteen months of notification that capacity is available and the city prepared to accept the additional flow.
2. City maintains the right to review and require modifications to the water service design and layout on the property during the plan review process to ensure there is no negative impact to the city's water utility.

Should additional water and/or sewer flow be needed at any future date, an additional request and application must be submitted for review and approval.

This letter of availability is valid for one year from the date of this letter, and is not transferable.

Thank you,
John

John Bain

John Bain
Interim Deputy City Manager / Utilities Director
City of Villa Rica, GA
jbain@villarica.gov

CITY COUNCIL
LESLIE MCPHERSON, MAYOR
DANNY CARTER
SHIRLEY MARCHMAN
MATTHEW MOMTAHAN
STEPHANIE WARMOTH
ANNA MCCOY

City of Villa Rica



INTERIM CITY MANAGER: JENNIFER
HALLMAN
CITY CLERK: THERESA CAMPBELL
CITY ATTORNEY: KEVIN DRUMMOND

571 W BANKHEAD HWY
VILLA RICA, GA 30180
770.459.7000 | VILLARICA.ORG

COMMERCIAL WATER AND SEWER CAPACITY REQUEST APPLICATION

Date of Application: 5/22/2025

Name of Applicant: Crow Holdings

Is the location of this development inside Villa Rica City Limits? Yes

Parcel Number(s): 01460250013 and 01430250013

Street Address: 700 Edge Road

Project Information

Project Name: Liberty Road Industrial

Project Location: 700 Edge Road

Project Type (Residential, Commercial, Industrial): Industrial

Project Description: Site will consist of a 276,960 SF industrial warehouse and trailer parking areas

If Residential, Number of Residential Units Proposed: N/A

Will This Project be developed in Phases?: No

If yes, How Many Phases are Projected?: N/A

If capacity is granted for one phase of a project, it in no way guarantees or assures capacity will be available for future phases. Any additional capacity not provided in this request will require additional application submissions and reviews prior to approval.

Is the development intended to be a public or a private development (interior roadways, utilities, infrastructure): Private Development

If application is for non-domestic wastewater, applicant must attach additional detailed information as to the characteristics of the wastewater, including but not limited to BOD5, TSS, COD, pH, fats, oils, and grease, as well as any federally or state identified priority pollutants, including but not limited to nitrogen and phosphorus. A separate individual approval shall be required for non-domestic use.

Flow InformationProject Average Daily Flow, gpd: 3,462Project Peak Daily Flow, gpd: 10,386**Please attach worksheet including calculations on how this data was derived.**

The proposed flow rate(s) of the development in gallons per day (gpd) of the new development will be calculated and peaked with a factor of 3.

Estimated Month Flow to Utility System Begins (mm/yyyy): 12/2026Are any additional amenities and/or structures requiring water/sewer connectivity: NoDescription of additional amenity/structure: N/AEstimated average and peak daily flows of amenity/structure: N/AWill the construction / modification of a lift station be required: Yes**Engineer Information**Company Name: Ware MalcombAddress: 3520 Piedmont Road NE, Suite 290Contact Name: Lauren LeyrerCity, State, Zip Code: Atlanta, GA 30305Phone Number: 470.426.8783Email Address: lleyrer@waremalcomb.com

The Utility may require additional information depending upon the type of development and/or system requirements.

All applicants must comply with all terms and provisions of the City of Villa Rica Development Regulations and Code of Ordinances. All proposed projects must be coordinated through the city's Community Development department prior to start of any activities on the property.

This application is not transferable or assignable to any party.

Applicant Agreement:

The filing of this form by the applicant in the capacity of legal representative of the owner of the parcel or property, places no obligation on The City of Villa Rica, its officers, employees, or agents to issue a building permit, conditional or otherwise. Any misrepresentation in this application, failure to provide new, revised, or updated information regarding the

estimated water and sewage demand, or subsequent violation of the conditions of the capacity certification process, will result in revocation of the building permit and other remedies available in equity and law for the improper filing of legal documents. I (the applicant) further acknowledge and agree to comply with all the terms and provisions of the City of Villa Rica Code of Ordinances and Development Regulations (as amended from time to time).

Applicant Signature:  778A1E3BBD9C418...

Address: 3715 Northside Parkway, Building 200, Suite 800, Atlanta, GA 30327

Phone #: 404.665.9997 Email: jbateman@crowholdings.com

For Department Use Only

This application for capacity certification is hereby:

[] APPROVED IN THE AMOUNT OF _____ FOR IMMEDIATE USE

[X] DISAPPROVED

[] CONDITIONALLY APPROVED IN THE AMOUNT OF _____ - PENDING:

ADDITIONAL COMMENTS:

The City currently lacks the available water and sewer conveyance and capacity to serve the project at this time.

Utility Representative: *John D Bain*

Title: Interim Deputy City Manager / Utilities Director

Date: June 10, 2025

Sewer Useage Calcs	
Building SF	276,960 SF
# of Employees (1 employee/ 2,000 SF)	138 Employees
Average Daily Flow (25 GPD per Employee)	3,462 GPD
Peak Daily Flow (3* ADF)	10,386 GPD